



334 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

KPA PROJECT No. 230457-A

## ARCHITECT

## STRUCTURAL

## MECHANICAL

## ELECTRICAL

**CIVIL**

## LANDSCAPE

## GEOTECHNICAL

## FIRE SUPPRESSION

## SURVEY

DRAWING NO.





1 SE PERSPECTIVE\_1

SCALE:



2 SW PERSPECTIVE

SCALE:



3 SE PERSPECTIVE\_2

SCALE:





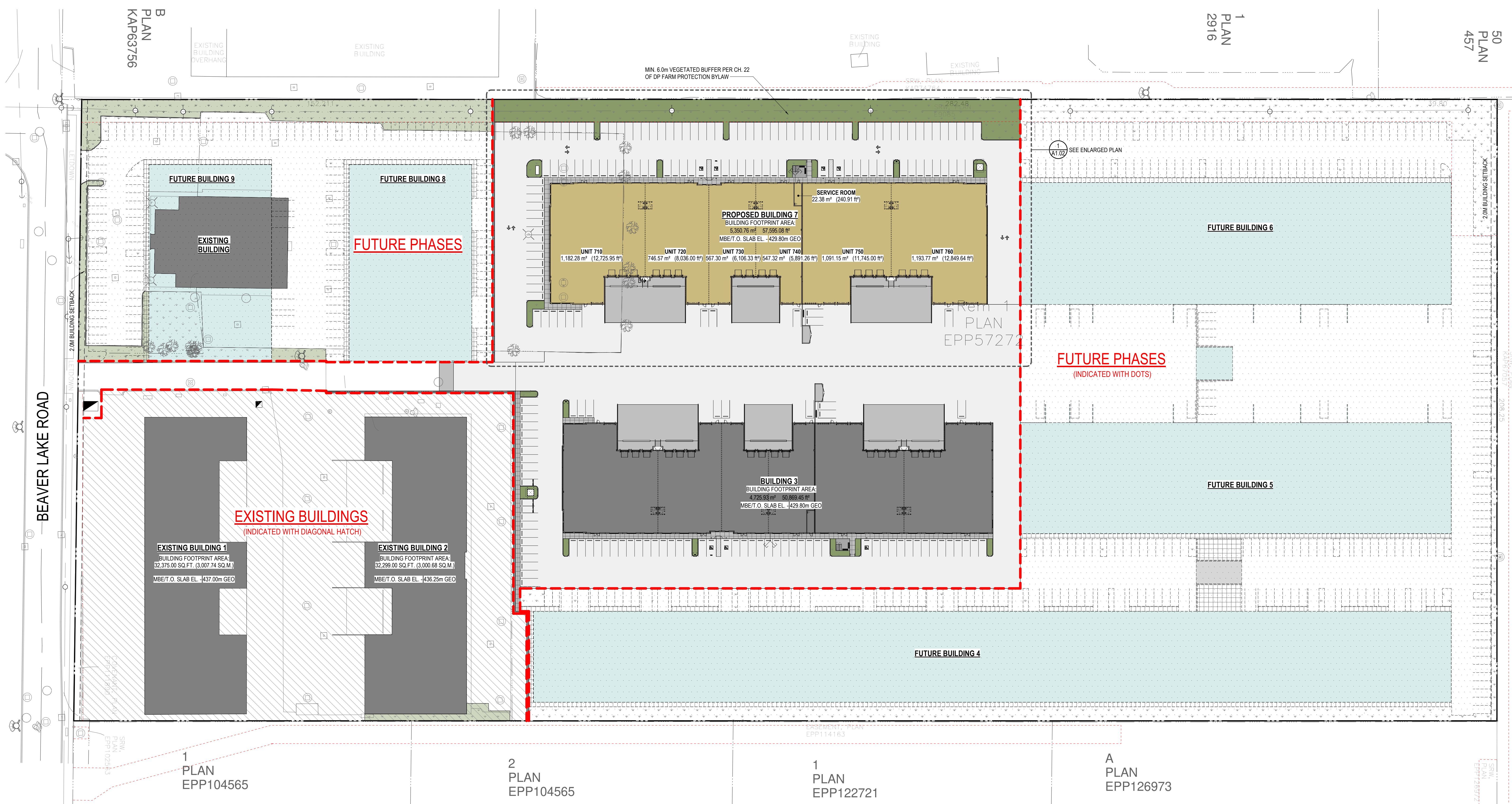
C-200	LOCATION PLAN
C-201	NOTES
C-202	SITE SERVICING PLAN
C-203	OVERALL WATER PLAN
C-204	SITE GRADING PLAN
C-205	STORMWATER MANAGMENT PLAN
C-206	EROSION CONTROL PLAN
C-207	TEMP. RETAINING WALL DETAILS
C-208	SEWER DETAILS
C-209	WATER & ROAD DETAILS
C-210	DRAINAGE SRW PLAN

1. CTQ DESIGN IS BASED ON LOCALIZED PROJECT COORDINATE SYSTEM. HORIZONTAL DISTANCES ARE GROUND LEVEL DISTANCES. CONTROL POINTS ARE BASED ON GOVERNMENT MONUMENT COORDINATES.
2. CTQ DESIGN ELEVATIONS ARE BASED ON CONTROL ID IP1. OTHER ELEVATIONS ARE PROVIDED AS CHECK ONLY.
3. ELEVATION DATUM IS NAD 83 / (CGG2013).
4. SURVEYORS ARE RESPONSIBLE FOR VERIFYING DATA. ANY CHANGE IN SURVEYOR OR EQUIPMENT SURVEY RESIDUAL SHOULD BE CALIBRATED.

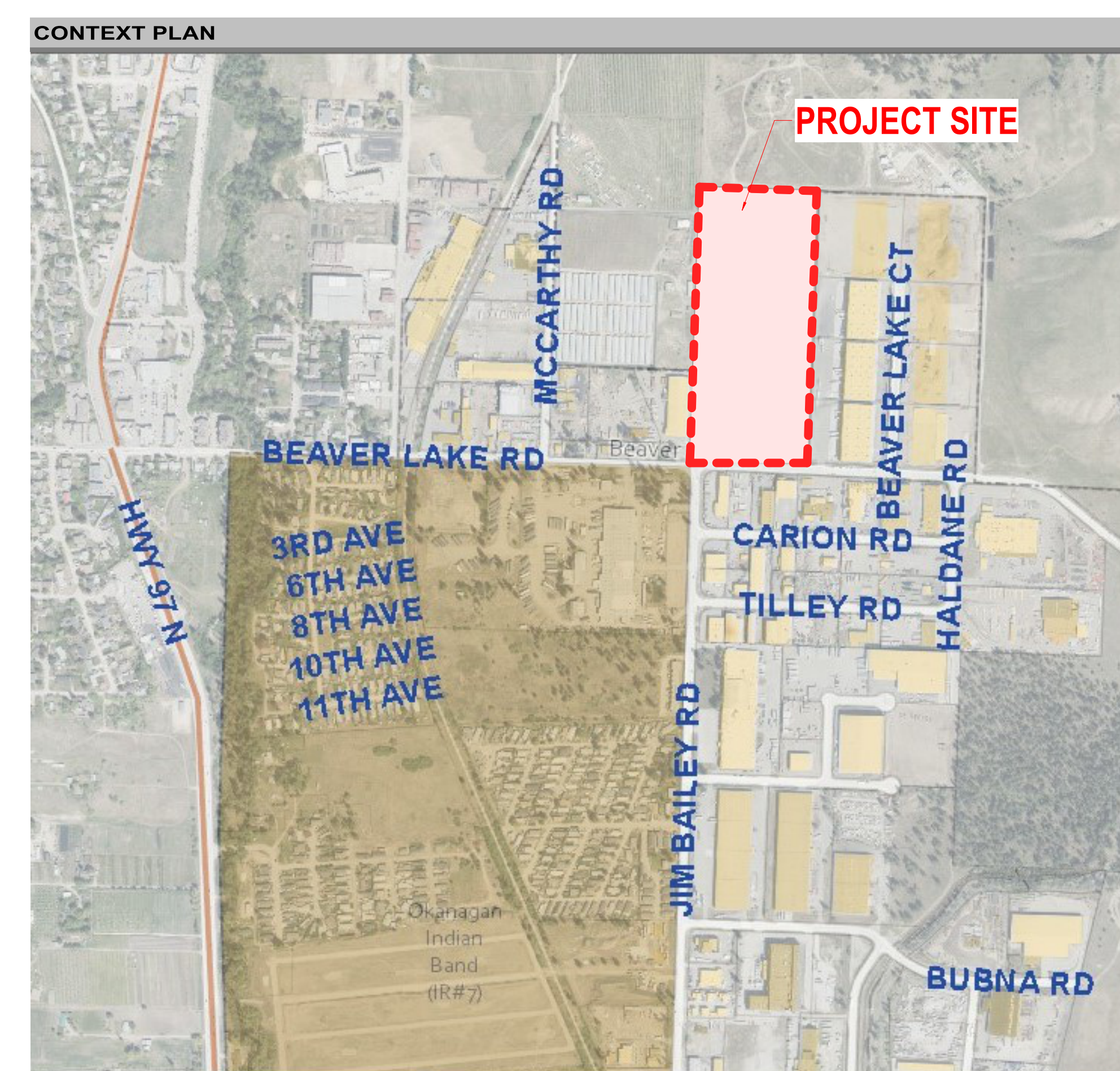
Association of Professional  
Engineers and Geoscientists  
of the Province of  
British Columbia  
**S. M. TOBLER**  
PROFESSIONAL  
LICENSEE  
ENGINEERING  
Licence 55129  
2025-01-20

Drawn	RR	 <b>ENGINEERING LANDSCAPE ARCHITECTURE URBAN PLANNING</b> TEL 250 979-1221 <a href="http://www.ctqconsultants.ca">www.ctqconsultants.ca</a>	Division	
Design	NP		MUNICIPAL	
Approved				
Date	JANUARY 2025		Drawing No.	Rev No.
Scale	AS NOTED		C-200	0

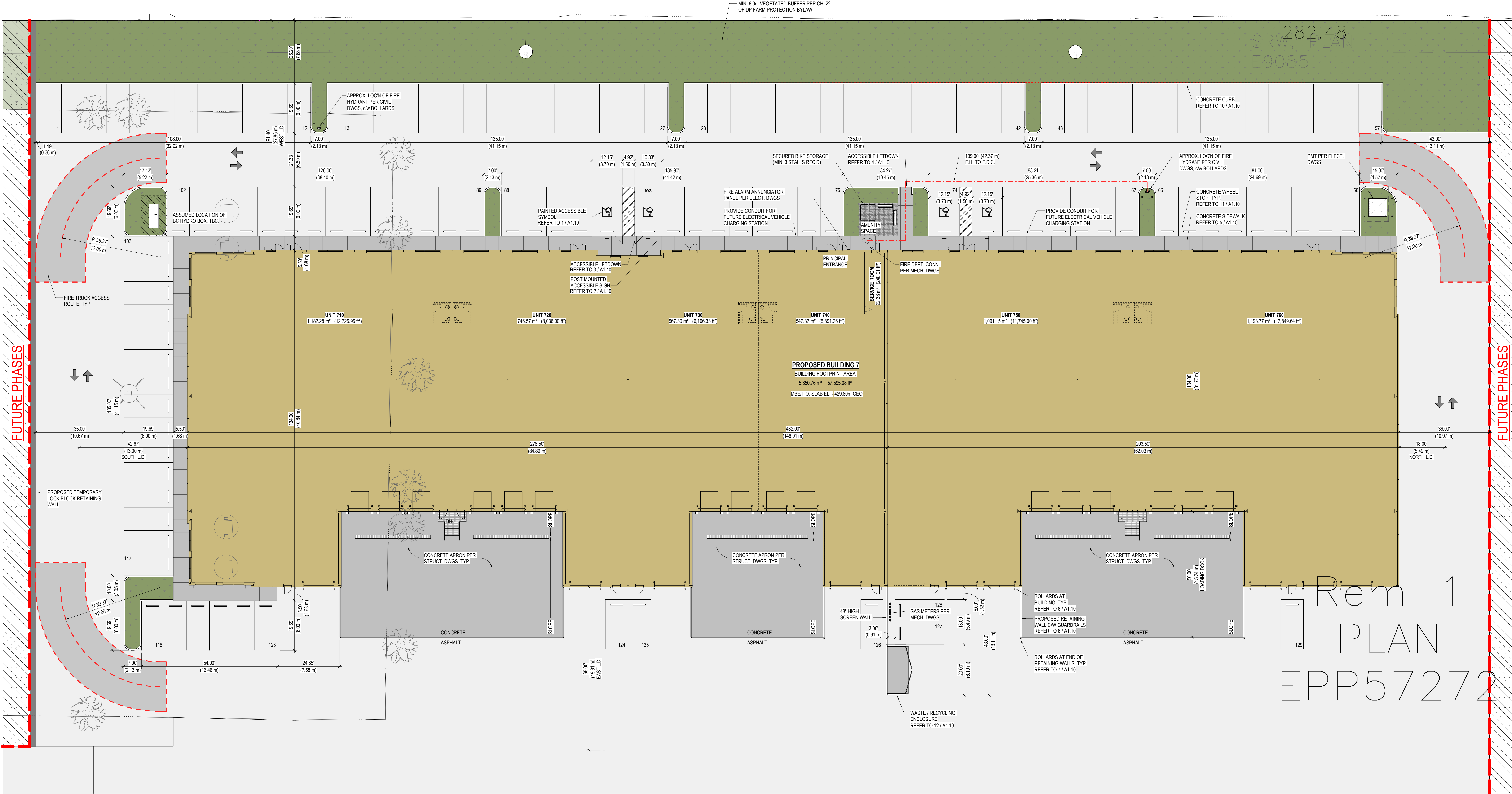




1	SITE PLAN - OVERALL
	SCALE: 1" = 50'-0"







## ZONING BY-LAW ANALYSIS

### PROJECT DATA

CIVIC ADDRESS: 334 BEAVER LAKE ROAD, KELOWNA, BC BUILDING USE: MULTI-TENANT MEDIUM HAZARD INDUSTRIAL  
LEGAL ADDRESS: LOT 1 SECTION 11 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN EPP57272

BUILDING AREA (MAIN FLOOR): 5,350.76 m<sup>2</sup> 57,595.08 ft<sup>2</sup>

### ZONING BYLAW ANALYSIS (CITY OF KELOWNA)

1. ZONING: I3 - HEAVY INDUSTRIAL

2. SITE AREA: 99,080.67 m<sup>2</sup> 9.91 hectare 1,066,495.48 ft<sup>2</sup> 24.48 acres

#### 3. SITE COVERAGE - BUILDING AREAS:

BUILDING FOOTPRINT AREA CALCULATIONS				F.A.R. CALCULATIONS				
BUILDING	SITE AREA		PROP. SITE COVERAGE	BUILDING AREA		MAXIMUM SITE COVERAGE		
	SQ M	SQ FT		SQ M	SQ FT	%	SQ M	SQ FT
BUILDING 3	99,080.67 m <sup>2</sup>	1,066,495.48 ft <sup>2</sup>	4.77%	4,725.93 m <sup>2</sup>	50,869.45 ft <sup>2</sup>	80.00%	79,264.54 m <sup>2</sup>	853,196.38 ft <sup>2</sup>
BUILDING 7	99,080.67 m <sup>2</sup>	1,066,495.48 ft <sup>2</sup>	5.40%	5,350.76 m <sup>2</sup>	57,595.08 ft <sup>2</sup>	80.00%	79,264.54 m <sup>2</sup>	853,196.38 ft <sup>2</sup>
EXIST. BUILDING 1	99,080.67 m <sup>2</sup>	1,066,495.48 ft <sup>2</sup>	3.04%	3,007.74 m <sup>2</sup>	32,375.00 ft <sup>2</sup>	80.00%	79,264.54 m <sup>2</sup>	853,196.38 ft <sup>2</sup>
EXIST. BUILDING 2	99,080.67 m <sup>2</sup>	1,066,495.48 ft <sup>2</sup>	3.03%	3,000.68 m <sup>2</sup>	32,299.00 ft <sup>2</sup>	80.00%	79,264.54 m <sup>2</sup>	853,196.38 ft <sup>2</sup>
EXIST. BUILDING (WM)	99,080.67 m <sup>2</sup>	1,066,495.48 ft <sup>2</sup>	1.31%	1,294.51 m <sup>2</sup>	13,934.02 ft <sup>2</sup>	80.00%	79,264.54 m <sup>2</sup>	853,196.38 ft <sup>2</sup>
TOTAL			17.54%	17,379.61 m <sup>2</sup>	187,072.56 ft <sup>2</sup>			
GROSS FLOOR AREA CALCULATIONS				F.A.R. CALCULATIONS				
LEVEL	OCCUPANCY	FLOOR AREA		BUILDING AREA		PROPOSED F.A.R.	ALLOWABLE F.A.R.	
		SQ M	SQ FT	SQ M	SQ M			
MAIN FLOOR	F2	5,350.76 m <sup>2</sup>	57,595.08 ft <sup>2</sup>		203,343.11 m <sup>2</sup>	18,891.19 m <sup>2</sup>	0.19	0.75
SECOND FLOOR	D	802.62 m <sup>2</sup>	8,639.31 ft <sup>2</sup>					
TOTAL FLOOR AREA (FUTURE 15% BUILDOUT)		6,153.38 m <sup>2</sup>	66,234.39 ft <sup>2</sup>					

4. BUILDING HEIGHT: 18.00 m (59.06')

MAXIMUM HEIGHT: 19.97 m (65.52')

#### 5. REQUIRED SETBACKS:

	REQUIRED	PROVIDED (BT)
FRONT YARD (SOUTH):	2.30 m (6.56')	197.24 m (647.05')
SIDE YARD (WEST):	0.00 m (0.00')	27.86 m (91.40')
SIDE YARD (EAST):	0.00 m (0.00')	139.54 m (457.82')
REAR YARD (NORTH):	2.30 m (6.56')	170.79 m (560.32')

#### 6. LANDSCAPING REQUIREMENTS:

LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF KELOWNA BYLAW REQUIREMENTS.

MAXIMUM NUMBER OF PARKING STALLS IN A CONSECUTIVE ROW IS 15 WITH A LANDSCAPED ISLAND OR DRIVE AISLE SEPARATING THE NEXT 15 STALLS.

#### 7. VEHICLE PARKING AND LOADING:

REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS.

ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS		LOCAL BYLAW REQUIREMENTS	
LEVEL	PARKING CLASSIFICATION	BY-LAW DEFINITION USED	CALCULATION METHOD
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100 S.M. (1076.40 S.F.)	GROSS AREA
SECOND FLOOR	OFFICE	2.5 SPACES FOR EACH 100 S.M. (1076.40 S.F.)	GROSS AREA
TOTAL VEHICLE PARKING SPACES REQUIRED:		6,153.38 m <sup>2</sup>	66,234.39 ft <sup>2</sup>
VEHICLE PARKING PROVIDED			
PARKING TYPE	No. of SPACES		
ACCESSIBLE PARKING	4		
STANDARD PARKING	125		
TOTAL PARKING SPACES PROVIDED	129		

#### 8. BICYCLE PARKING:

STALL DIMENSIONS:		LOCAL BYLAW REQUIREMENTS	
STANDARD STALL:	2.50 m (8.20') W, 6.00 m (19.68') L	2.74 m (9.00') W PROVIDED	
STANDARD STALL ADJACENT STRUCTURE:	2.70 m (8.86') W, 6.00 m (19.68') L		
CAR ACCESSIBLE STALL:	3.70 m (12.14') W, 6.00 m (19.68') L		
VAN ACCESSIBLE STALL:	4.80 m (15.75') W, 6.00 m (19.68') L		
SMALL CAR STALL (MAX. 30%):	2.30 m (7.55') W, 4.80 m (15.75') L		
LOADING STALL:	3.00 m (9.84') W, AREA TO BE NO LESS THAN 28.00 m <sup>2</sup> (301.39 ft <sup>2</sup> )		
DRIVE AISLE WIDTH:	6.50 m (21.33') at 90° (TWO WAY)		

#### LOADING CALCULATION:

TOTAL LOADING SPACES REQUIRED	1 SPACE FOR EACH 1,900 S.M. (20,451.43 S.F.) = 3
TOTAL LOADING SPACES PROVIDED	25 (DOCK LOADING & GRADE LOADING)

#### 8. BICYCLE PARKING:

REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS.

ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

BICYCLE PARKING REQUIREMENT CALCULATIONS		LOCAL BYLAW REQUIREMENTS	
LEVEL	BY-LAW DEFINITION USED	CALCULATION METHOD	PERCENTAGE OF GROSS AREA
MAIN FLOOR	0.05 SPACE FOR EACH 100 S.M. (1076.40 S.F.)	GROSS AREA	5,350.76 m <sup>2</sup> 57,595.08 ft <sup>2</sup> 100
SECOND FLOOR	0.05 SPACE FOR EACH 100 S.M. (1076.40 S.F.)	GROSS AREA	802.62 m <sup>2</sup> 8,639.31 ft <sup>2</sup> 100
TOTAL BICYCLE PARKING SPACES REQUIRED:		6,153.38 m <sup>2</sup>	66,234.39 ft <sup>2</sup>
BICYCLE PARKING PROVIDED			
CLASS	BICYCLES		
CLASS 1 BIKE	3		
TOTAL	3		

## SITE LEGEND

PROPOSED BUILDING	PROPERTY LINE
EXISTING BUILDING	EASEMENT/ROW
LANDSCAPING SEE LANDSCAPING DWGS	BUILDING SETBACK
BUILDING SIDEWALK	CHAINLINK/MESH FENCE
CONCRETE PAD	CONCRETE SOUND BARRIER
ASPHALT PAVEMENT SEE CIVIL DWGS	OMEGA FENCE
PERMEABLE ASPHALT PAVEMENT, SEE CIVIL DWGS	RETAINING WALL SEE CIVIL & STRUCT. DWGS
MASSONRY PAVEMENT SEE LANDSCAPING DWGS	CATCH BASIN & LAWN DRAIN SEE CIVIL & MECH. DWGS
GRAVEL	STRIP DRAIN SEE CIVIL & MECH. DWGS
MULCH SEE LANDSCAPING DWGS	VEHICLE PAINTED TRAFFIC DIRECTION ARROW
PMT C/W BOLLARDS SEE ELEC. DWGS	BUILDING FACADE LIGHTS SEE ELEC. DWGS
FIRE HYDRANT SEE MECH. DWGS	POST MOUNTED LIGHTS SEE ELEC. DWGS
	SITE FURNITURE SEE LANDSCAPING DWGS

#### PROJECT NAME

BEAVER LAKE INDUSTRIAL  
- BUILDING 7

#### PROJECT ADDRESS

334 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

#### DRAWING TITLE

SITE PLAN & PROJECT  
INFORMATION

#### SCALE

As indicated

#### DRAWN

BSS

#### REVIEWED

PROJECT NO. 230457-A

#### DRAWING NO.

A1.02

PROJECT NORTH



**1** | H/C SIGN PAINTED

## 2 POST MOUNTED H/C SIGN

### 3 H/C LETDOWN / CURB RAMP WITHIN SIDEWALK

#### 4 H/C LETDOWN / CURB RAMP W/ RETURN CURB SIDES

## 5 | SIDEWALK

## 6 RETAINING WALL GUARDRAIL w/o PICKETS

## 7 BOLLARD DETAIL

## 8 | BOLLARD at BUILDING

## 9 | INTERIOR BOLLARD

## 10 CONCRETE CURB

## 11 | CONCRETE WHEEL STOP

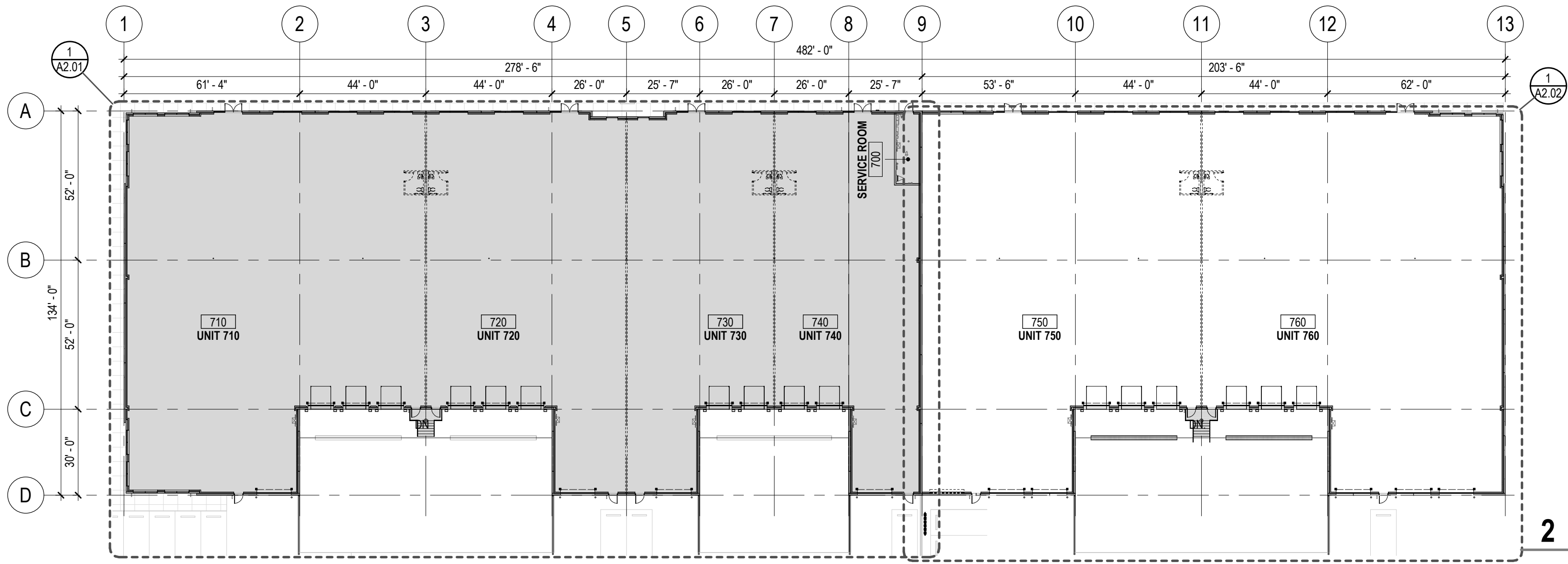
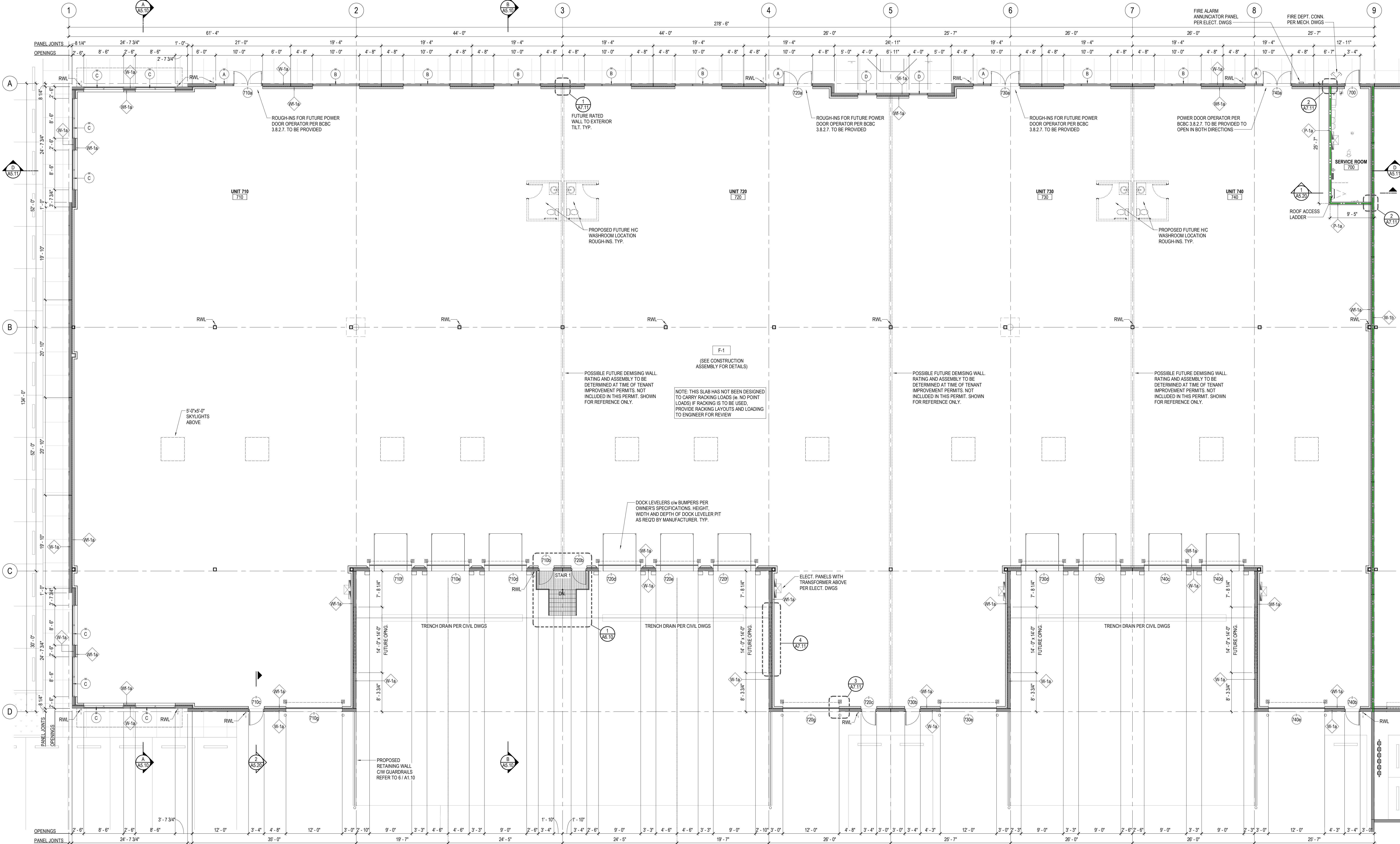
## PLAN

### ELEVATION

## SECTION

## 12 WASTE + RECYCLING ENCLOSURE - TILT





1 MAIN FLOOR PLAN - SOUTH

SCALE: 1/8" = 1'-0"

2 KEY PLAN

SCALE: 1/32" = 1'-0"

FIRE RATING	
	0 HR F.S.R.
	45 MIN F.R.R.
	1 HR F.R.R.
	1.5 HR F.R.R.
	2 HR F.R.R.
	3 HR F.R.R.
	4 HR F.R.R.
	PATH OF TRAVEL / TRAVEL DISTANCE
	EXIT SIGN
	FIRE DOOR SIGN (ON VISIBLE SIDE OF DOOR WHEN OPEN)

**WALL CONSTRUCTION**  
ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO US STRUCTURE ABOVE.  
ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO US STRUCTURE ABOVE.  
ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 1'-0" ABOVE CEILING.

**WET WALLS**  
JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at all WET WALLS.

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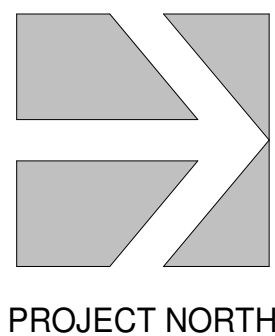
PROJECT NAME  
BEAVER LAKE INDUSTRIAL - BUILDING 7

PROJECT ADDRESS  
334 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7

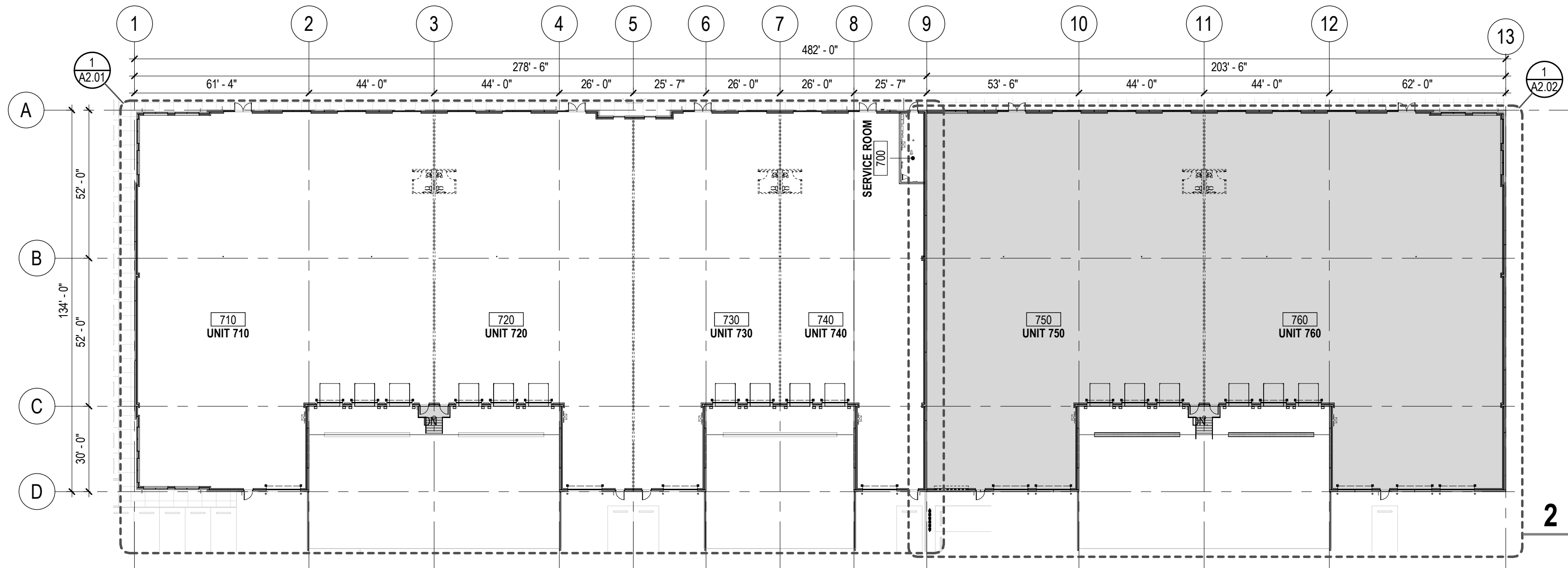
DRAWING TITLE  
MAIN FLOOR - SOUTH

SCALE	As indicated
DRAWN	BSS
REVIEWED	
PROJECT NO.	230457-A
DRAWING NO.	

A2.01







SCALE: 1/8" = 1'-0"

SCALE: 1/32" = 1'-0"

**SPRINKLERED BUILDING**  
BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS. DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEM IS THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CONSULTANT'S DRAWINGS. PULL STATIONS AND FIRE ALARM SPECIFICATIONS FOR INSTALLATION AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.

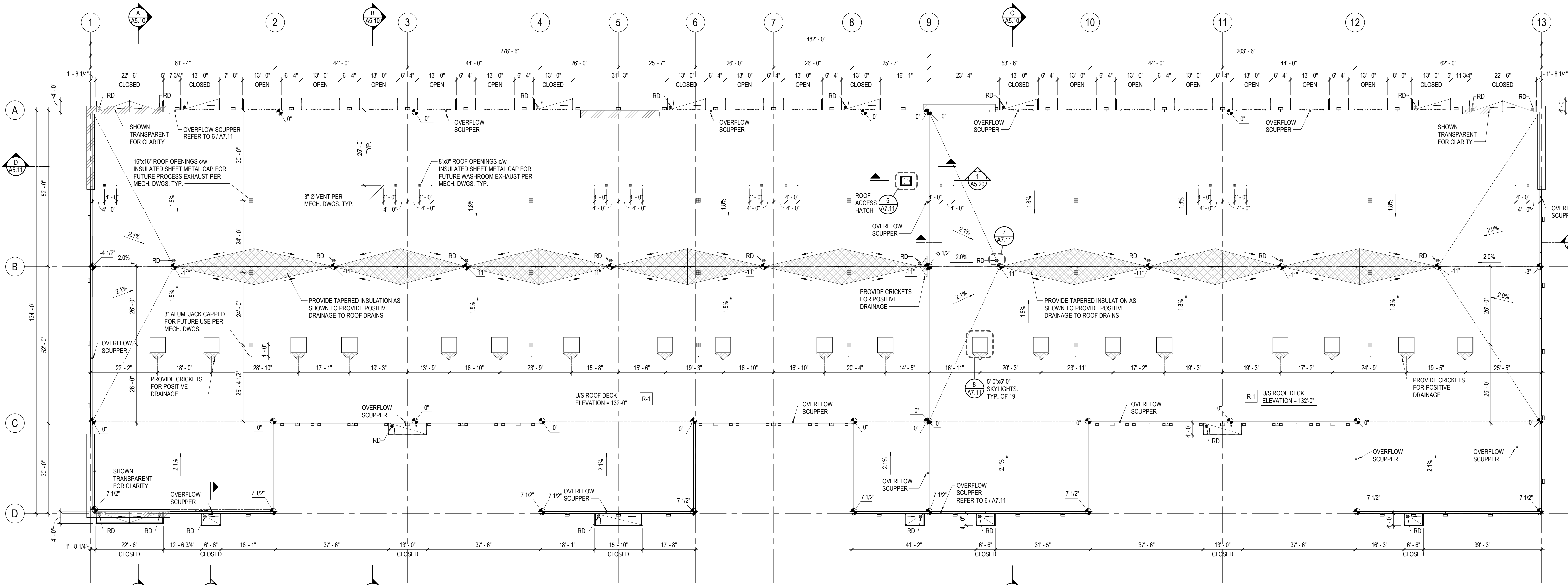
1	2025/01/17	ISSUED FOR DEVELOPMENT PERM
NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

SCALE	As indicated
DRAWN	BSS
REVIEWED	
PROJECT NO.	230457-A
DRAWING NO.	

## A2.02

PROJECT NORTH





2 ROOF PLAN  
SCALE: 1/16" = 1'-0"

**ROOF NOTES**

SEE SCHEDULES FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES. GENERAL CONTRACTOR TO CONFORM ALL FIRE / SMOKE RATED ASSEMBLIES WITH ULC LISTINGS AND/OR LOCAL BUILDING CODES AS NOTED IN SPECIFIC CONSTRUCTION ASSEMBLY.

UNLESS NOTED OTHERWISE, ALL SPOT ELEVATIONS ARE TO BOTTOM OF ROOF DECK (B.O.D.).

**DRAINAGE**

- ALL ROOF DRAINS PER MECHANICAL DRAWINGS.
- ROOF RAINWATER TO BE DRAINED TO STORM SYSTEM PER MECHANICAL AND CIVIL DRAWINGS AND SPECIFICATIONS.
- POSITIVE DRAINAGE IS GENERALLY PROVIDED BY SLOPING OF STRUCTURE. ROOFING CONTRACTOR TO PROVIDE SLOPED INSULATION OR CRICKETS AT ANY LOCATIONS WHERE ASSISTANCE TO POSITIVE DRAINAGE IS REQUIRED.
- ROOF DRAINS, SCUPPERS & ROOFING TO BE IN ACCORDANCE W/ LOCAL CODES AND BYLAWS AND GOOD ROOFING STANDARDS.
- ROOFING CONTRACTOR TO SEAL ANY GAPS TYPICAL.
- SECURE METAL SLEEVES AND MUST EXTEND PAST THE WIDTH OF THE METAL SLEEVE FLANGE.
- OVERFLOW SCUPPERS AS REQUIRED AND AS NOTED ON PLANS. CONTRACTOR TO PROVIDE SCUPPER OPENINGS OR CORE HOLES TO SATISFY PLUMBING CODE CLAUSE 2.4.10.4 (4) WHEN A PARAPET OF 150mm (6") OR TALLER IS SPECIFIED. COORDINATE ROOFING INSULATION THICKNESSES AND SLOPING AS REQUIRED.
- METAL SCUPPER BOX MUST HAVE CONTINUOUS SIDES. METAL FLANGE MUST BE CONTINUOUS W/ ROUNDED CORNERS.
- WATER CUT OFF MASTIC MUST BE UNDER CONSTANT COMPRESSION.

**ROOFING**

- CONTRACTOR TO CONFIRM ALL ASPECTS OF ROOF DESIGN WITH QUALIFIED ROOFING CONTRACTOR/CONSULTANT.
- WARRANTY FOR ROOFING MEMBRANE TO BE PROVIDED BY MANUFACTURER. COPY OF WARRANTY DOCUMENTATION TO BE PROVIDED TO KRAHN GROUP OF COMPANIES.

**ROOF OPENINGS FOR MECHANICAL EQUIPMENT**

ALL SIZES, LOCATIONS AND CURBING ASSOCIATED WITH EQUIPMENT SHOWN ON THIS PLAN TO BE CONFIRMED WITH MECHANICAL DRAWINGS AND SUPPLIER'S SPECIFICATIONS. SUPPORTS AROUND OPENINGS TO BE CONFIRMED W/ STRUCTURAL.

**CEILING NOTES**

GENERAL CONTRACTOR TO CONFORM ALL FIRE / SMOKE RATED ASSEMBLIES WITH ULC LISTINGS AND/OR LOCAL BUILDING CODES AS NOTED IN SPECIFIC CONSTRUCTION ASSEMBLY.

CLEAR HEIGHT US CEILING IS INDICATED RELATIVE TO FLOOR/LEVEL INDICATED ON BUILDING SECTIONS AND ELEVATIONS, AT EACH FLOOR LEVEL.

REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.

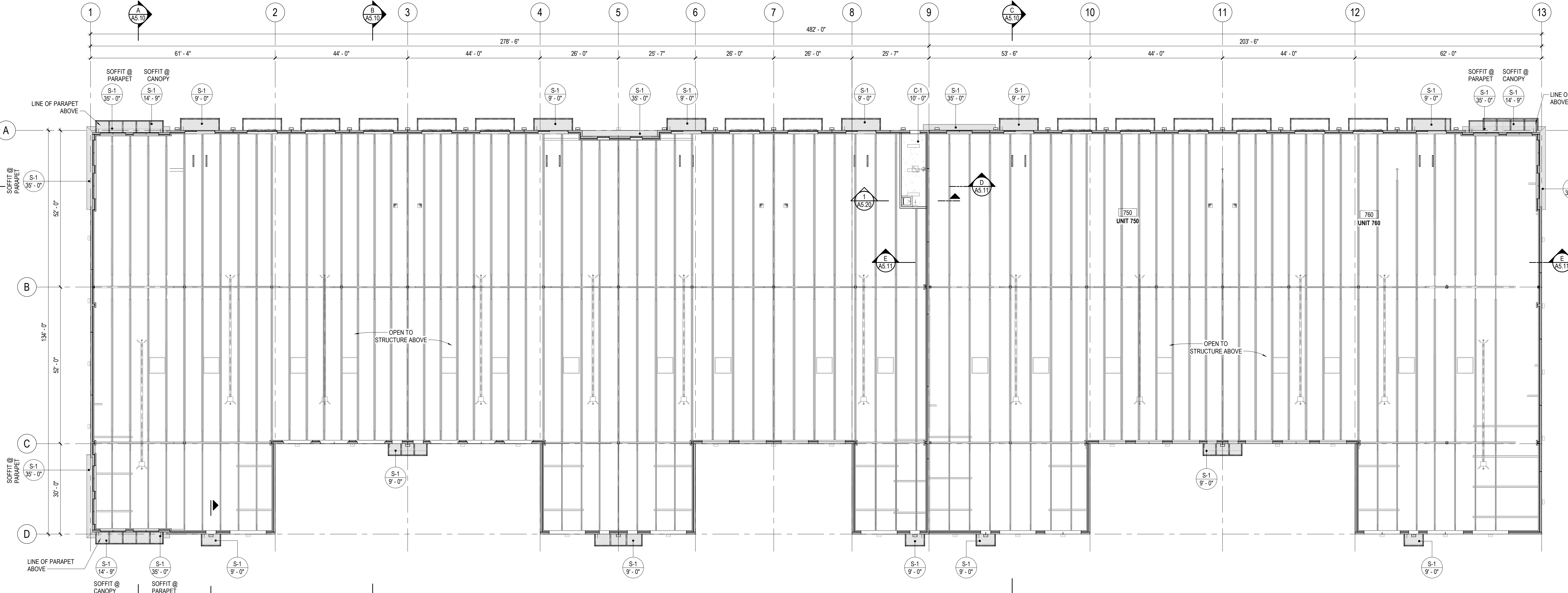
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR LIGHTING SCHEDULE.

SITE VERIFY ALL MEASUREMENTS SO THAT WINDOW TREATMENTS ARE PROPERLY CENTERED WITH INTERIOR & EXTERIOR MULLIONS.

WHEREVER POSSIBLE, CENTER CEILING TILE (NOT GRID) WITHIN ROOM.

WHENEVER POSSIBLE, CENTER ALL LIGHTING, AIR TERMINALS, SPRINKLERS AND AV EQUIPMENT WITHIN THE CEILING TILE IN WHICH THEY LOCATED.

- SYMBOLS**
- LINEAR AIR DIFFUSER
  - WINDOW TREATMENT PROJECTOR SCREEN - RECESSED
  - SUPPLY AIR DIFFUSER
  - RETURN AIR DIFFUSER
  - EXHAUST AIR DIFFUSER
  - TYPICAL WASHROOM COVE WITH LIGHT AND VENT
  - OPEN EGG CRATE GRILL
  - SPRINKLER
  - SPEAKER
  - SECURITY CAMERA
  - EXIT SIGN - CEILING MOUNTED
  - EXIT SIGN - WALL MOUNTED
  - FLUORESCENT LIGHT
  - RECESSED FLUORESCENT POT LIGHTS
  - WALL MOUNTED SMOKE DETECTOR
  - WINDOW TREATMENT SYMBOL SHADE TYPE (REFER TO LIST OF MATERIALS)
  - MODEL TYPE MATERIAL (REFER TO LIST OF MATERIALS)
  - CEILING HEIGHT
  - START POINT OF ACT SUSPENDED CEILING GRID
  - FLUSH MOUNTED CEILING ACCESS HATCH - FLANGELESS W/ DRYWALL INSERT FACE: 450x450mm (18x18") U.N.O.
  - ADJUSTABLE MIRROR WALL MTD
  - CORNER MOUNTED CONVEX MIRROR - WALL MOUNTED
  - CEILING MOUNTED PROJECTOR AND SCREEN



1 MAIN FLOOR REFLECTED CEILING PLAN  
SCALE: 1/16" = 1'-0"

1	2025/01/17	ISSUED FOR DEVELOPMENT PERM
NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

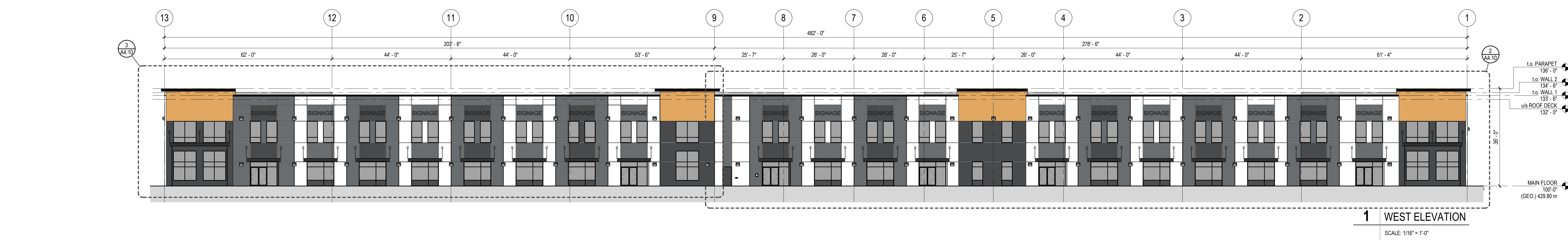
PROJECT NAME  
**BEAVER LAKE INDUSTRIAL - BUILDING 7**

PROJECT ADDRESS  
**334 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7**

DRAWING TITLE  
**ROOF PLAN & REFLECTED CEILING PLAN**

SCALE	As Indicated
DRAWN	BSS
REVIEWED	
PROJECT NO.	230457-A
DRAWING NO.	

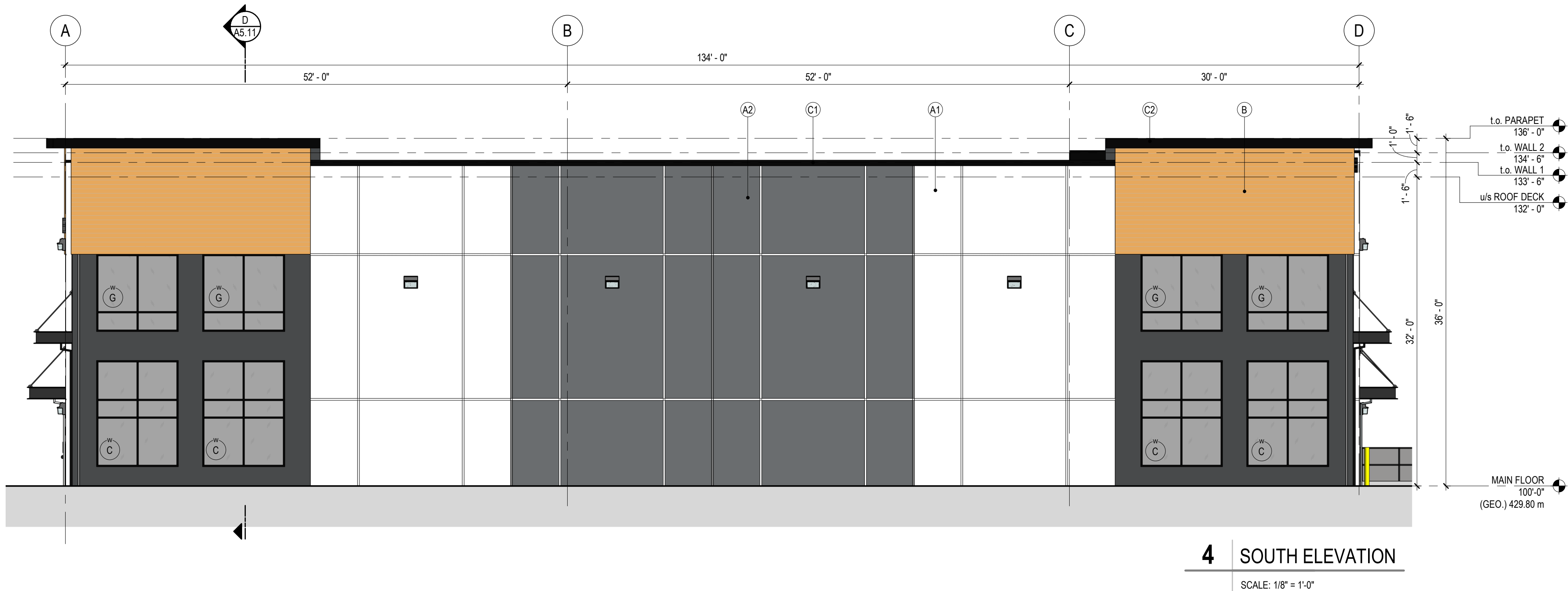
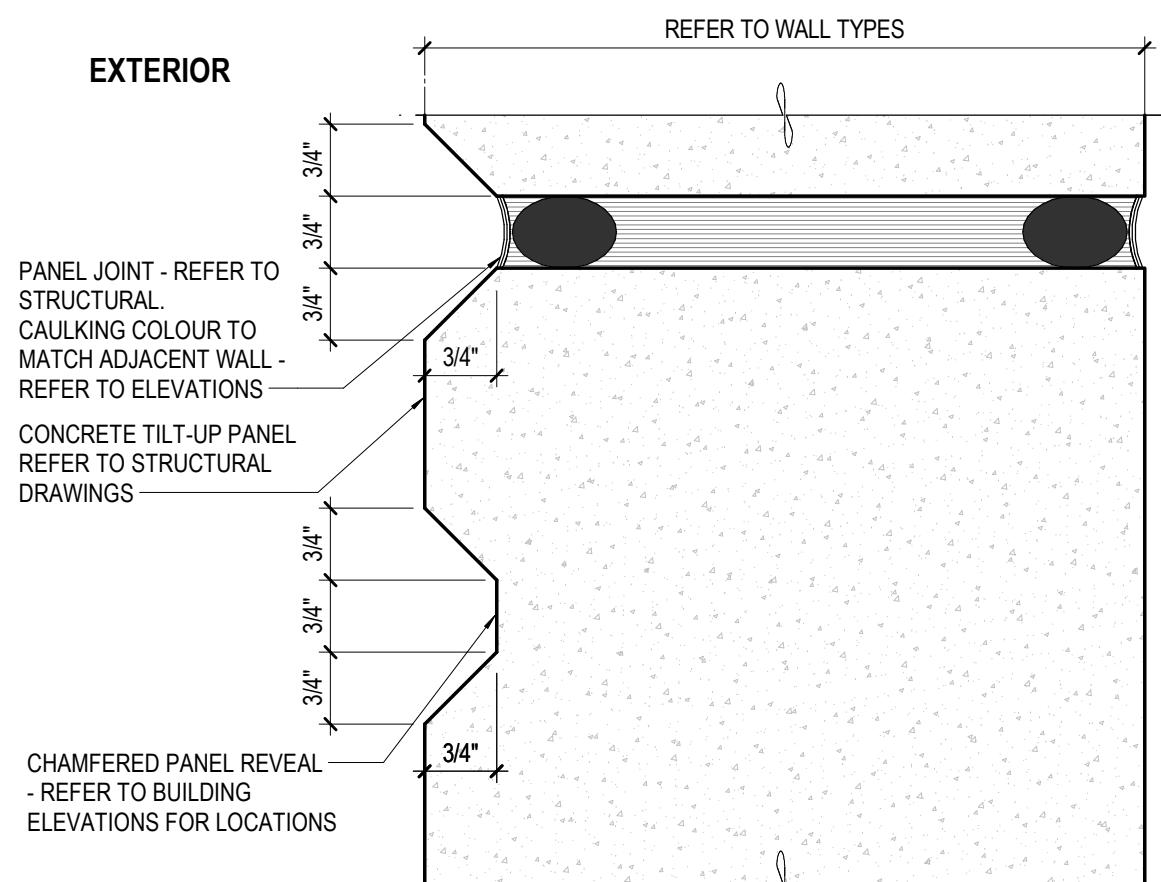




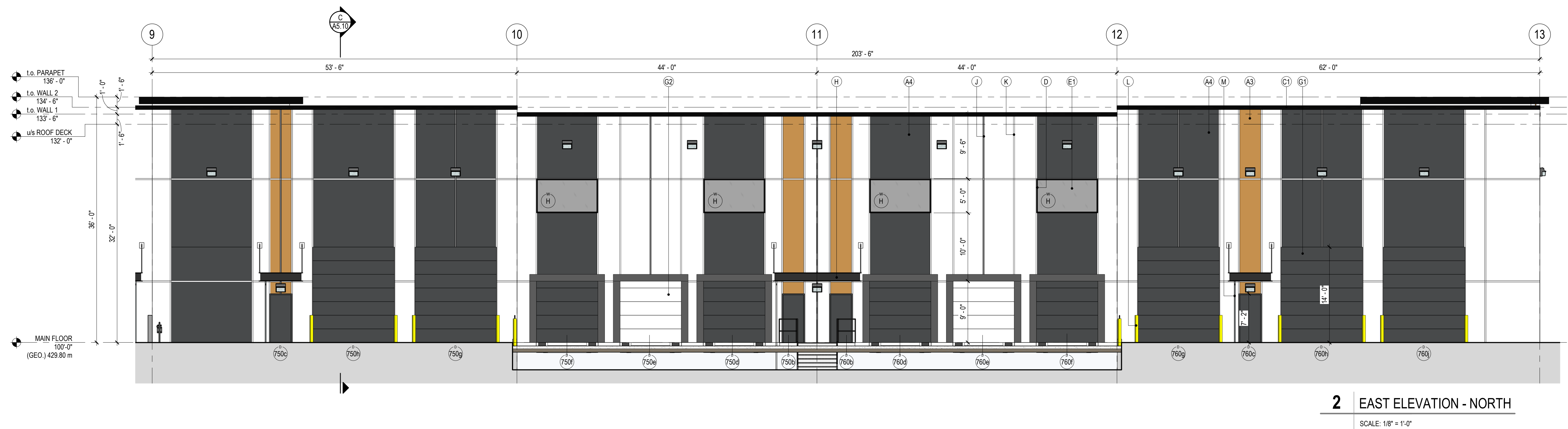
MATERIAL LEGEND	
TYPE	DESCRIPTION
A1	CONCRETE TILT PANEL: COLOUR: C1
A2	CONCRETE TILT PANEL: COLOUR: C2
A3	CONCRETE TILT PANEL: COLOUR: C3 (OR SIMILAR TO MATCH 'FIR' METAL CLADDING COLOUR)
A4	CONCRETE TILT PANEL: COLOUR: C4
B	CONCRETE TILT PANEL W/ GLASS: MATERIAL: LUX PANEL, FIBRE METAL GLASSING, 6\"/>
C1	PARAPET CAP FLASHING COLOUR: VICWEST 'BLACK'
C2	PARAPET OVERHANG FLASHING COLOUR: VICWEST 'BLACK'
D	CURTAINWALL STOREFRONT MULLION BLACK ANODIZED
E1	CURTAINWALL STOREFRONT GLAZING COLOUR: GREY TINT SEE GLAZING SCHEDULE
E2	CURTAINWALL STOREFRONT GLAZING SPANDREL GLASS COLOUR: HARMONY GREY SEE GLAZING SCHEDULE
F	STEEL MAN DOOR COLOUR: C3
G1	OVERHEAD ROLLING STEEL DOOR COLOUR: C4
G2	OVERHEAD ROLLING STEEL DOOR COLOUR: C1
H	STEEL CANOPY COLOUR: C5
J	3/4\"/>
K	3/4\"/>
L	BOLLARD: PAINTED WITH ENAMEL PAINT COLOUR: YELLOW
M	RAIN WATER LEADER COLOUR TO MATCH ASSOCIATED PANEL
N	BUILDING SIGNAGE: SEPARATE PERMIT REQ'D FOR SIGNAGE

\*\*\*THE MATERIAL LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING






PROJECT COLOURS	
C1 BENJAMIN MOORE CHANTILLY LACE (OC-65)	
C2 BENJAMIN MOORE CHARCOAL SLATE (HC-178)	
C3 BENJAMIN MOORE TURMERIC (2160-20) (OR SIMILAR TO MATCH 'FIR' METAL CLADDING COLOUR)	
C4 BENJAMIN MOORE GRAPHITE (1603)	
C5 DULUX BLACK BLACK (16440)	



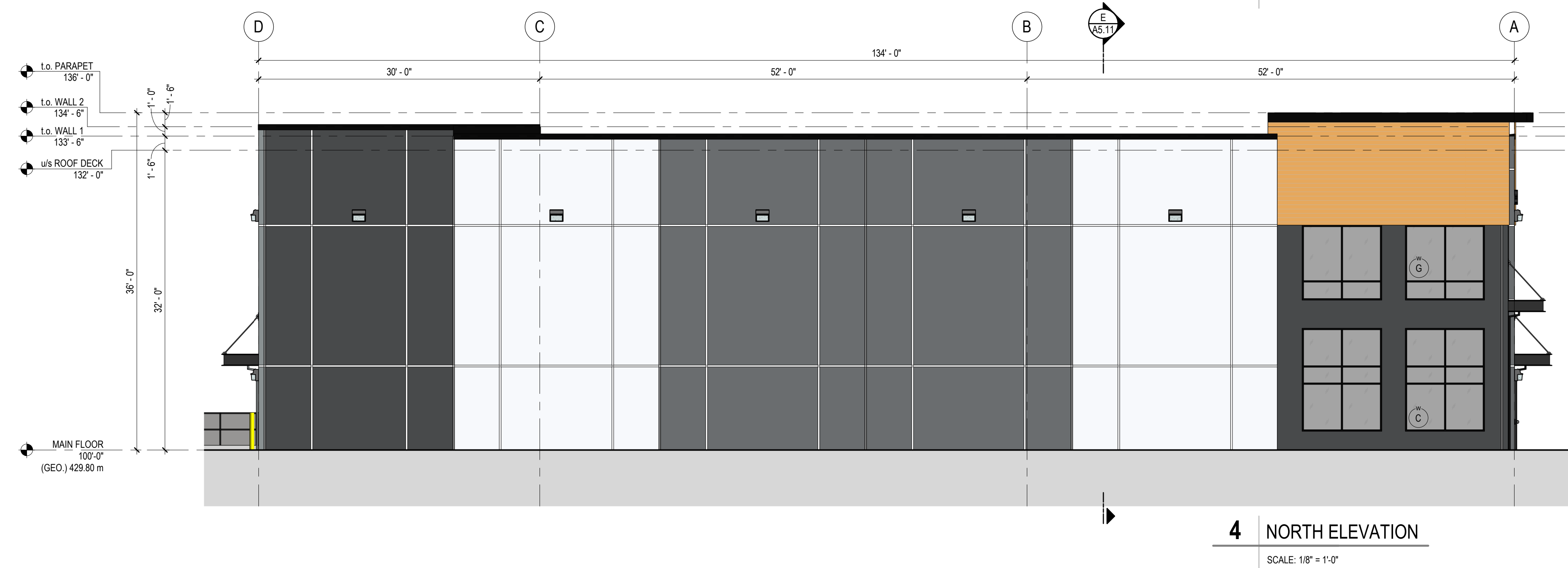




MATERIAL LEGEND	
TYPE	DESCRIPTION
A1	CONCRETE TILT PANEL: COLOR: C1
A2	CONCRETE TILT PANEL: COLOR: C2
A3	CONCRETE TILT PANEL: COLOR: C3 (OR SIMILAR TO MATCH FIR) METAL CLADDING
A4	CONCRETE TILT PANEL: COLOR: C4
B	CONCRETE TILT PANEL W/ CLADDING: MATERIAL: LUX PANEL, FIR, METAL CLADDING F/ SMOOTH V-GROOVE FINISH
C1	PARAPET CAP FLASHING COLOR: VIOGEST 'BLACK'
C2	PARAPET OVERHANG FLASHING COLOR: VIOGEST 'BLACK'
D	CURTAINWALL/STOREFRONT MULLION BLACK ANODIZED
E1	CURTAINWALL/STOREFRONT GLAZING COLOR: GREY TINT SEE GLAZING SCHEDULE
E2	CURTAINWALL/STOREFRONT GLAZING SPANDREL GLASS COLOR: HARMONY GREY SEE GLAZING SCHEDULE
F	STEEL MAIN DOOR COLOR: C3
G1	OVERHEAD ROLLING STEEL DOOR COLOR: C4
G2	OVERHEAD ROLLING STEEL DOOR COLOR: C1
H	STEEL CANOPY COLOR: C3
J	3/4" CONCRETE PANEL JOINT: SEE DETAIL 3/4-30 COLOR TO MATCH ASSOCIATED PANEL
K	3/4" CONCRETE PANEL REVEAL: SEE DETAIL 3/4-10 COLOR TO MATCH ASSOCIATED PANEL
L	BOLLARD PAINTED WITH ENAMEL PAINT COLOR: YELLOW
M	RAIN WATER LEADER COLOR TO MATCH ASSOCIATED PANEL
N	BUILDING SIGNAGE: SEPARATE PERMIT REQ'D FOR SIGNAGE

PROJECT COLOURS	
C1 BENJAMIN MOORE CHANTILLY LACE (OC-65)	
C2 BENJAMIN MOORE CHARCOAL SLATE (HC-178)	
C3 BENJAMIN MOORE TURMERIC (2160-20) (OR SIMILAR TO MATCH 'FIR' METAL CLADDING COLOUR)	
C4 BENJAMIN MOORE GRAPHITE (1603)	
C5 DULUX BLACK BLACK (16440)	

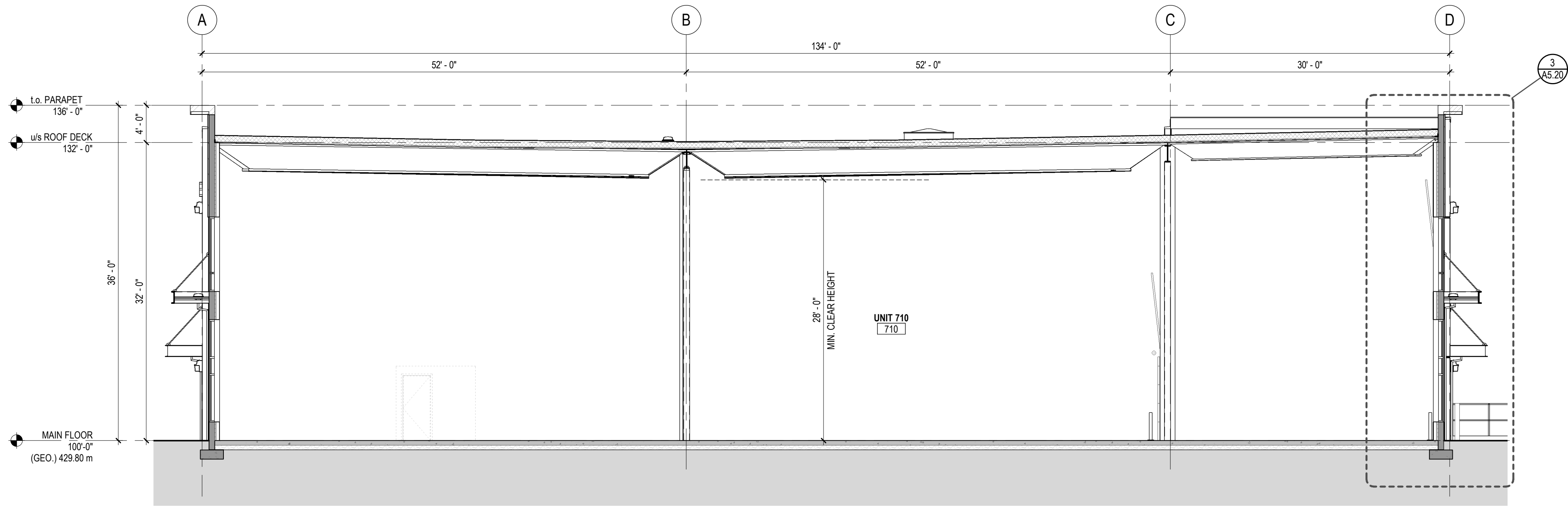
THE MATERIAL LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING



1	2025/01/17	ISSUED FOR DEVELOPMENT PERMI
NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

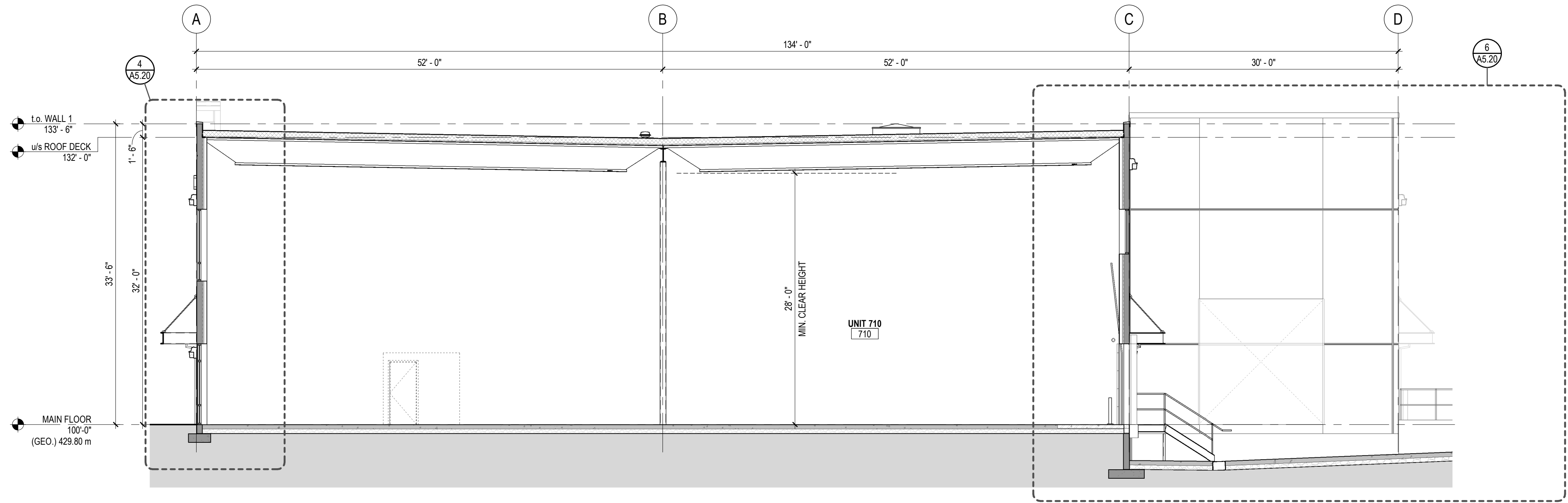
PROJECT NAME	
BEAVER LAKE INDUSTRIAL BUILDING 7	
PROJECT ADDRESS	
334 BEAVER LAKE ROAD KELOWNA, BC V4V 1S7	
DRAWING TITLE	
BUILDING ELEVATIONS - EAST & NORTH	
SCALE	
As indicated	
DRAWN	
BSS	
REVIEWED	
PROJECT NO.	
230457-A	
DRAWING NO.	





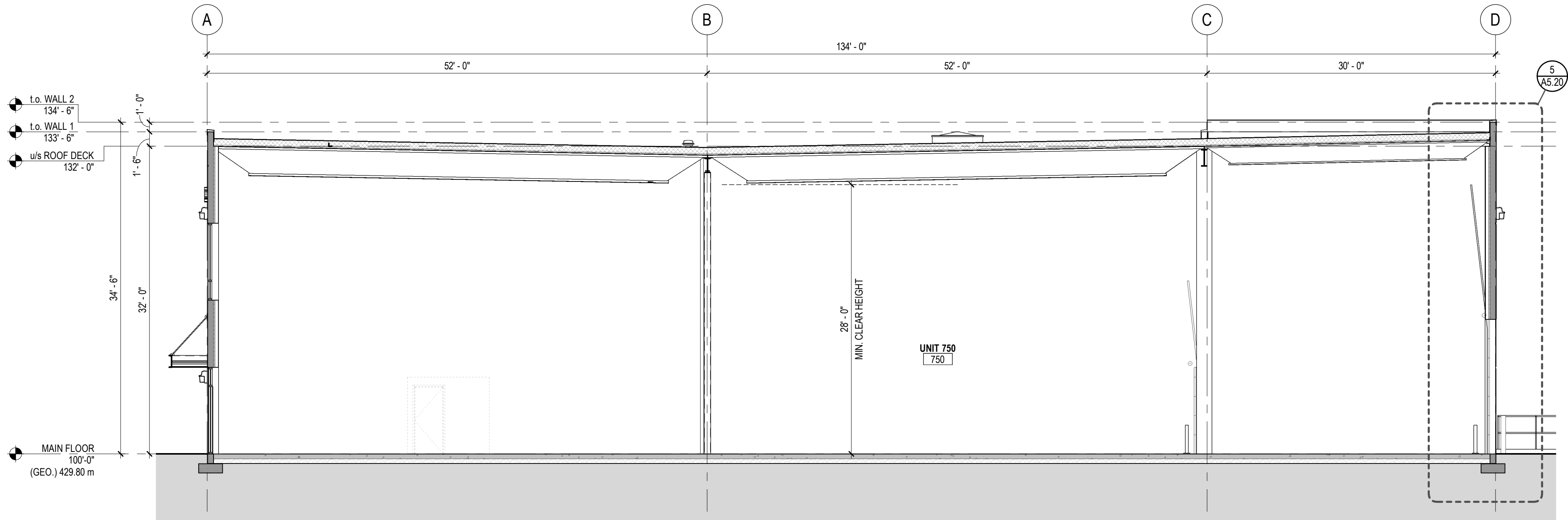
**A BUILDING SECTION**

SCALE: 1/8" = 1'-0"



**B BUILDING SECTION**

SCALE: 1/8" = 1'-0"



**C BUILDING SECTION**

SCALE: 1/8" = 1'-0"

FIRE RATING	
0 HR F.S.R.	
45 MIN F.R.R.	
1 HR F.R.R.	
1.5 HR F.R.R.	
2 HR F.R.R.	
3 HR F.R.R.	
4 HR F.R.R.	
## ##m (## ## ft)	PATH OF TRAVEL / TRAVEL DISTANCE
EXIT	EXIT SIGN
F.D.	FIRE DOOR SIGN (ON VISIBLE SIDE OF DOOR WHEN OPEN)

**WALL CONSTRUCTION**

ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO  $\geq$  STRUCTURE ABOVE.

ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO  $\geq$  STRUCTURE ABOVE.

ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 1'-0" ABOVE CEILING.

**WET WALLS**

JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.

ABBOTSFORD  
EDMONTON  
VANCOUVER

KPA

KP Architecture Ltd.

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1	2025/01/17	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

PROJECT NAME

**BEAVER LAKE INDUSTRIAL - BUILDING 7**

PROJECT ADDRESS

**334 BEAVER LAKE ROAD  
KELOWNA, BC V4V 1S7**

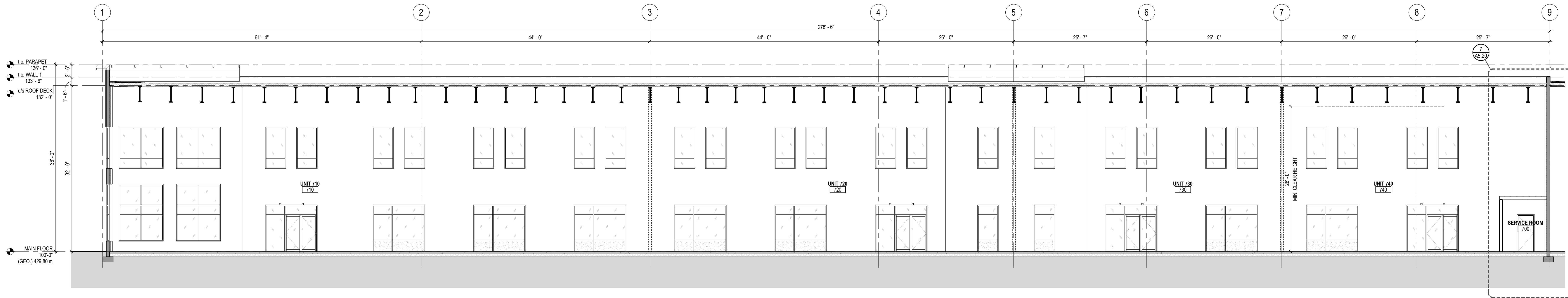
DRAWING TITLE

**BUILDING SECTIONS**

SCALE	As indicated
DRAWN	BSS
REVIEWED	
PROJECT NO.	230457-A
DRAWING NO.	

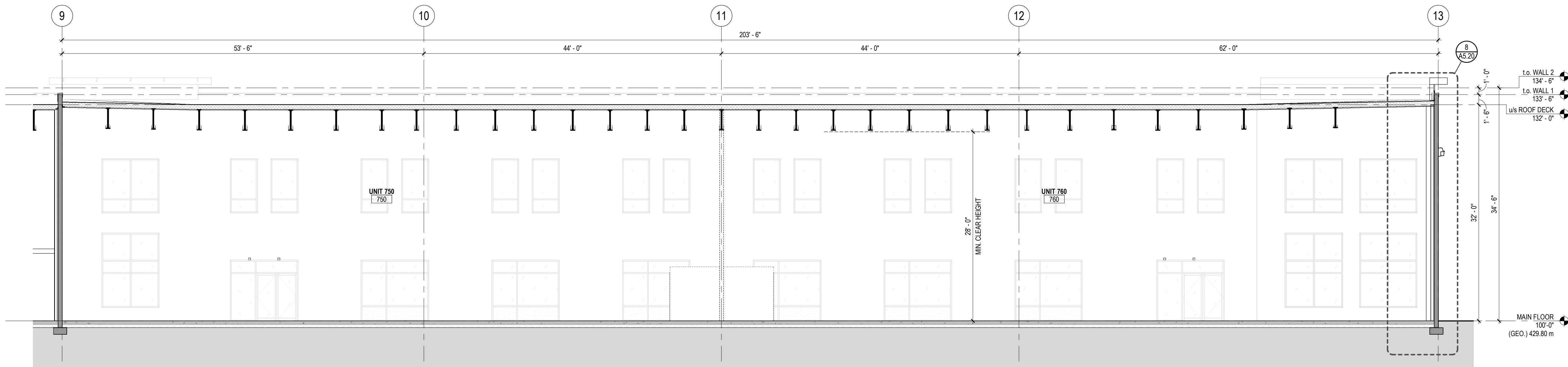
**A5.10**





D BUILDING SECTION

SCALE: 1/8" = 1'-0"



E BUILDING SECTION

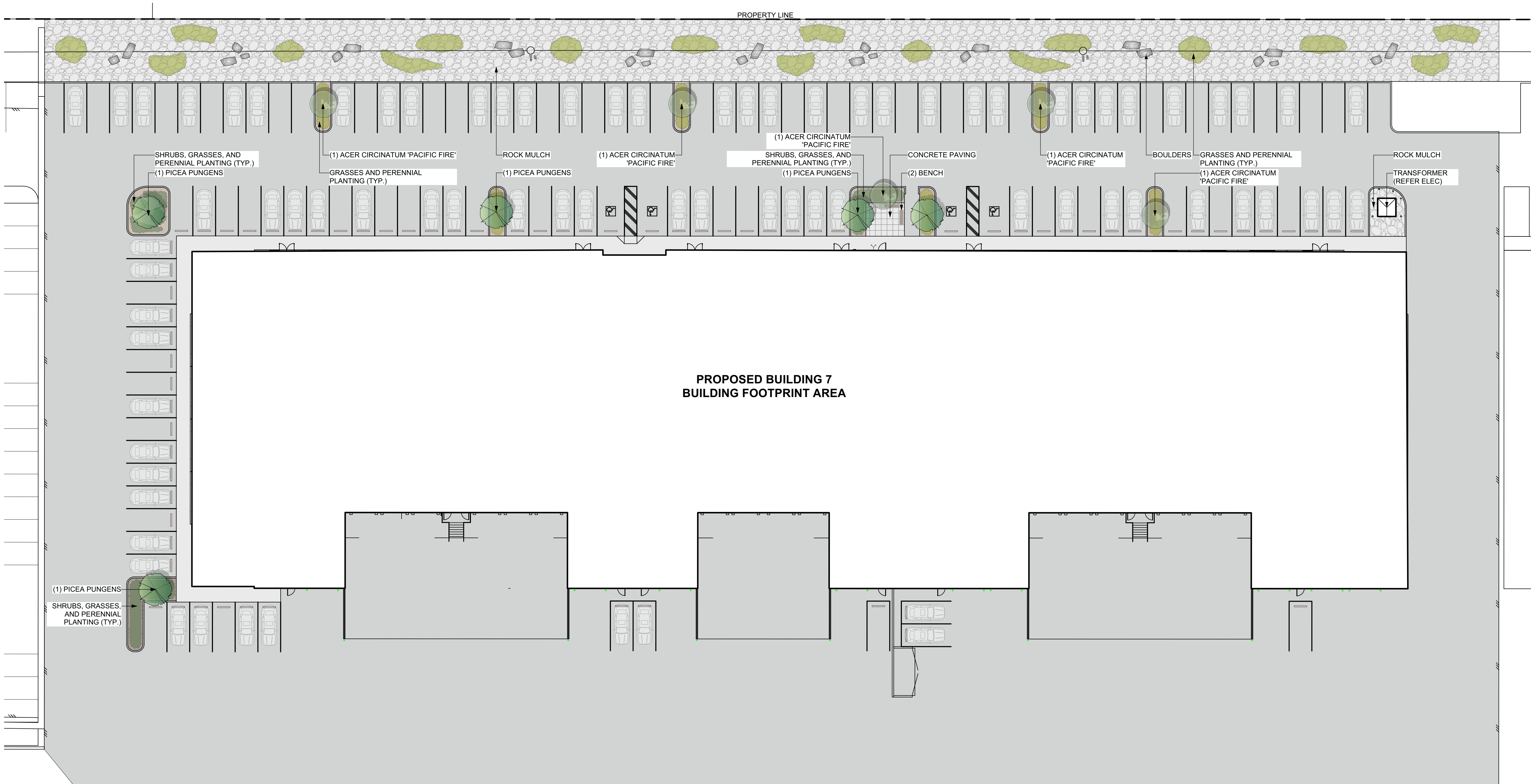
SCALE: 1/8" = 1'-0"

NO.	DATE Y/M/D	ISSUED FOR DEVELOPMENT PERMIT
1	2025/01/17	ISSUED FOR DEVELOPMENT PERMIT
ISSUES AND REVISIONS		
SEAL		

FIRE RATING	
0 HR F.S.R.	0 HR F.S.R.
45 MIN F.R.R.	45 MIN F.R.R.
1 HR F.R.R.	1 HR F.R.R.
1.5 HR F.R.R.	1.5 HR F.R.R.
2 HR F.R.R.	2 HR F.R.R.
3 HR F.R.R.	3 HR F.R.R.
4 HR F.R.R.	4 HR F.R.R.
PATH OF TRAVEL / TRAVEL DISTANCE	PATH OF TRAVEL / TRAVEL DISTANCE
EXIT SIGN	EXIT SIGN
FIRE DOOR SIGN (ON VISIBLE SIDE OF DOOR WHEN OPEN)	FIRE DOOR SIGN (ON VISIBLE SIDE OF DOOR WHEN OPEN)
WALL CONSTRUCTION	
ALL FIRE-RATED WALLS MUST BE CONSTRUCTED TO US STRUCTURE ABOVE.	
ALL SOUND ATTENUATION WALLS TO BE CONSTRUCTED TO US STRUCTURE ABOVE.	
ALL WALLS, NOT NOTED ABOVE, TO CONTINUE TO 1'-0" ABOVE CEILING.	
WET WALLS	
JANITOR ROOM, CHANGE ROOMS, LOCKER ROOMS AND WASHROOMS - REPLACE GYPSUM BOARD w/ GREEN BOARD at ALL WET WALLS.	

PROJECT NAME	
BEAVER LAKE INDUSTRIAL - BUILDING 7	
PROJECT ADDRESS	
334 BEAVER LAKE ROAD KELOWNA, BC V4V 1S7	
DRAWING TITLE	
BUILDING SECTIONS	
SCALE	
As indicated	
DRAWN	
BSS	
REVIEWED	
PROJECT NO. 230457-A	
DRAWING NO.	
A5.11	





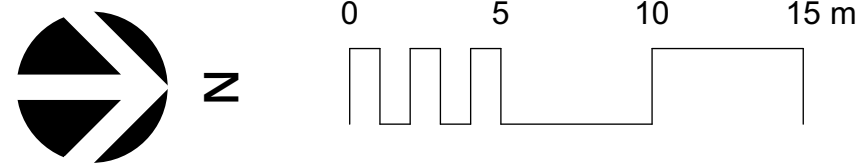
LEGEND:

- TREE PLANTING
- CONCRETE PAVING
- ROCK MULCH
- SHRUB PLANTING (TYP.)
- GRASSES AND PERENNIAL PLANTING (TYP.)
- BENCH

PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
TREES				
5	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	5cm Cal	B & B
5	Picea pungens	Blue Spruce	5cm Cal	B & B
SHRUBS				
	Artemisia pontica	Roman Wormwood	#02	Potted
	Physocarpus opulifolius 'Jefam'	Amber Jubilee Ninebark	#02	Potted
	Rosa rugosa 'Alba'	Rugosa Rose	#02	Potted
	Potentilla fruticosa	Shrubby Cinquefoil	#02	Potted
	Taxus x media 'Hilli'	Hill's Yew	#02	Potted
	Rhus aromatica 'Gro-Low'	Fragrant Sumc	#02	Potted
	Yucca filamentosa	Adam's Needle	#02	Potted
GRASSES AND PERENNIALS				
	Festuca glauca 'Elijah Blue'	Blue Fescue	#01	Potted
	Helictotrichon sempervirens	Blue Oat Grass	#01	Potted
	Heuchera	Coral Bells	#01	Potted
	Sedum spectabile	Stonecrop	#01	Potted

PRECEDENT IMAGES:



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- NOTES:
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS.
  2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
  3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
  4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM 1.0M DEPTH GROWING MEDIUM PLACEMENT.
  5. TURF AREA FROM SOD SHALL BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
  6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



1	ISSUED FOR REVIEW	2025-01-20
ISSUE	DESCRIPTION	DATE

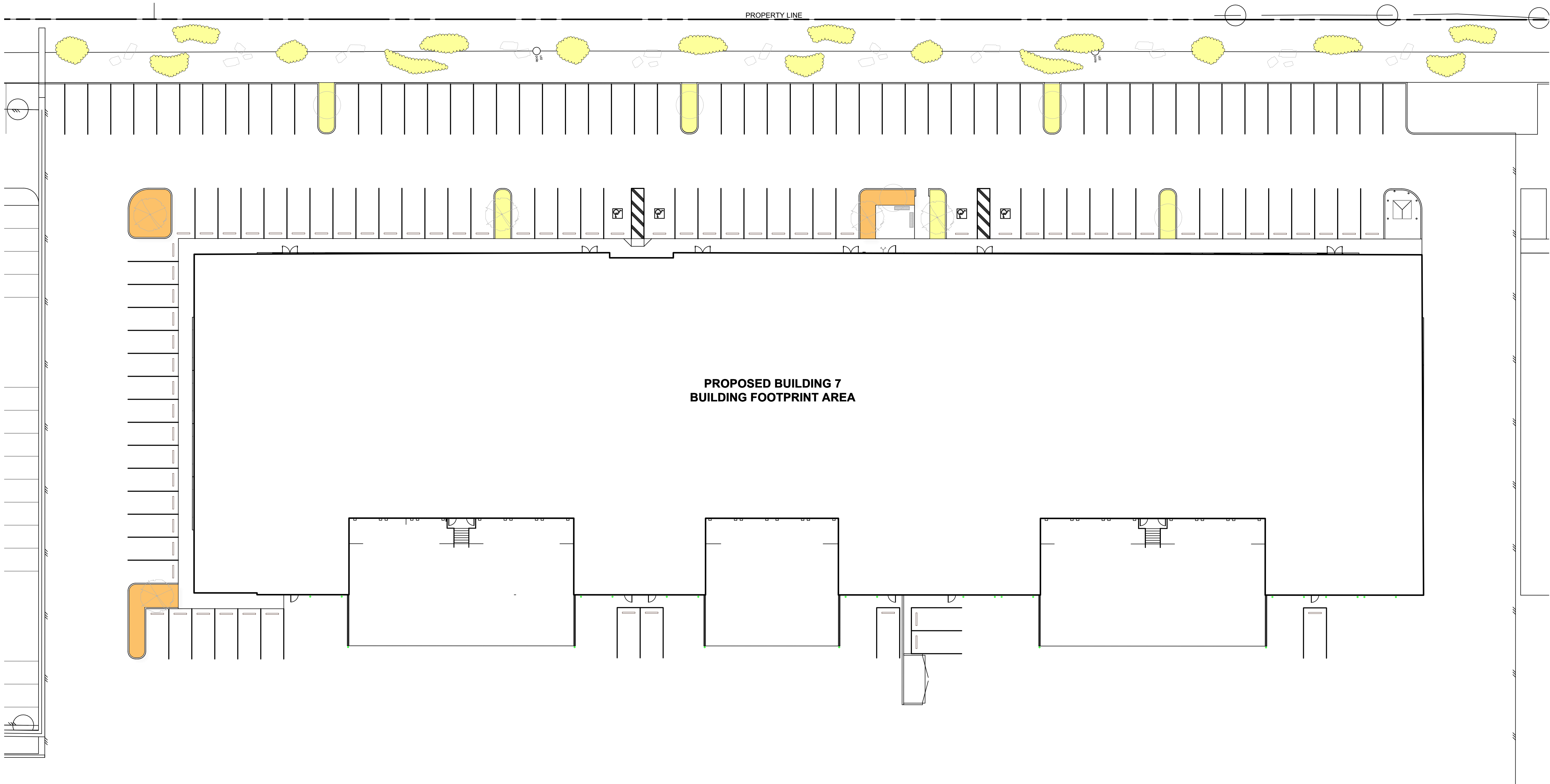
CLIENT NAME:  
**ARGUS PROPERTIES LTD.**

PROJECT NAME:  
**BUILDING 7  
334 BEAVER LAKE ROAD**

DRAWING TITLE:  
**LANDSCAPE SITE PLAN**

DRAWN: NV	DRAWING NO.:  <b>LDP 1</b>
CHECKED: NM	
PROJECT NO.: 25003-100	
SCALE: 1:000	





- LEGEND:**
- LOW WATER REQUIREMENTS - GRASSES / PERENNIALS
  - MEDIUM WATER REQUIREMENTS - SHRUBS

**WATER CONSERVATION CALCULATIONS**

TOTAL LANDSCAPE AREA	=	196 sq.m.
LANDSCAPE MAXIMUM WATER BUDGET (WB)	=	118 cu.m./yr
ESTIMATED LANDSCAPE WATER USE (WU)	=	55 cu.m./yr
WATER BALANCE	=	63 cu.m./yr

\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS\*

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- NOTES:**
1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7500 (PART 6, SCHEDULE 5).
  2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
  3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
  4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
  5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
  6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
  7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
  8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



NOT FOR CONSTRUCTION		
1	ISSUED FOR REVIEW	2025-01-20
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PROJECT NAME:  
**BUILDING 7  
334 BEAVER LAKE ROAD**

DRAWING TITLE:  
**WATER CONSERVATION PLAN**

DRAWN: NV	DRAWING NO.:  <b>LDP 2</b>
CHECKED: NM	
PROJECT NO.: 25003-100	
SCALE: 1:000	